

Sheriff's Office Envelope Repairs

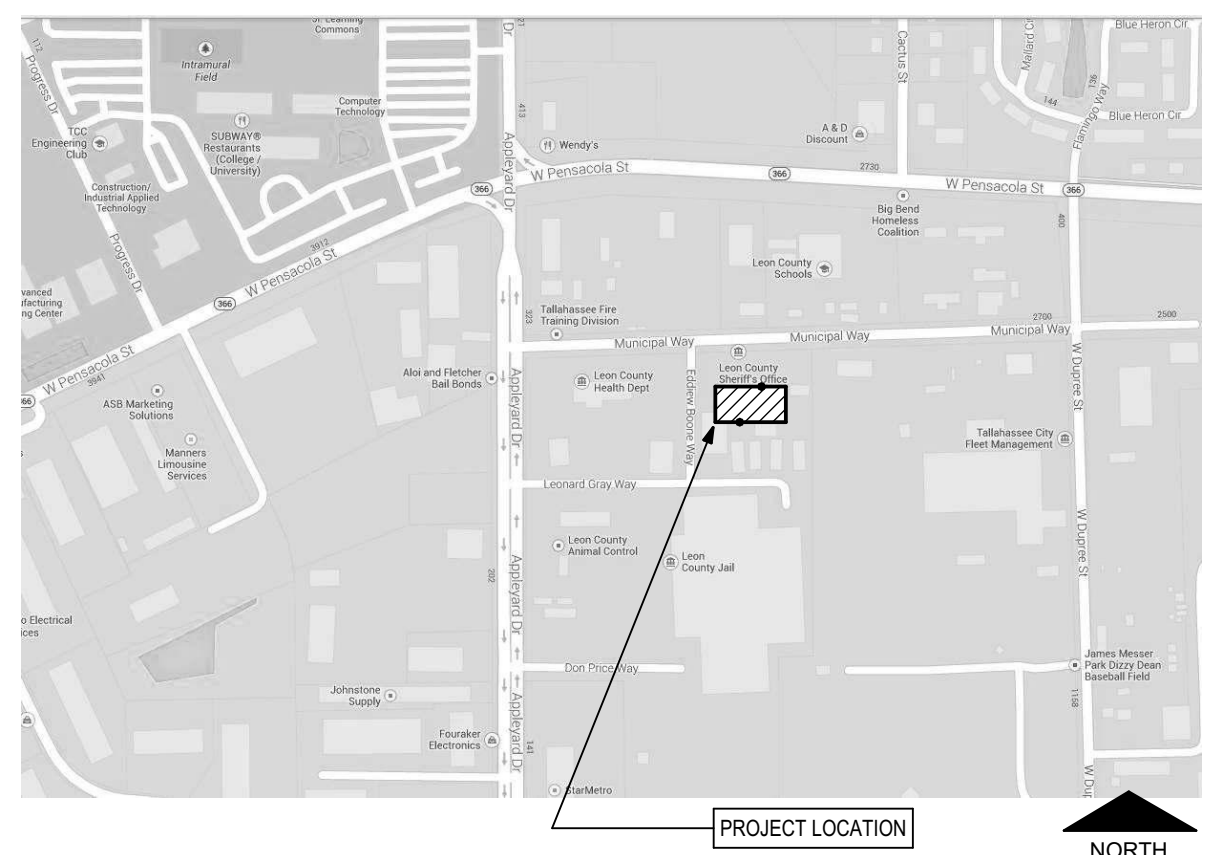
Tallahassee, FL , FL

for

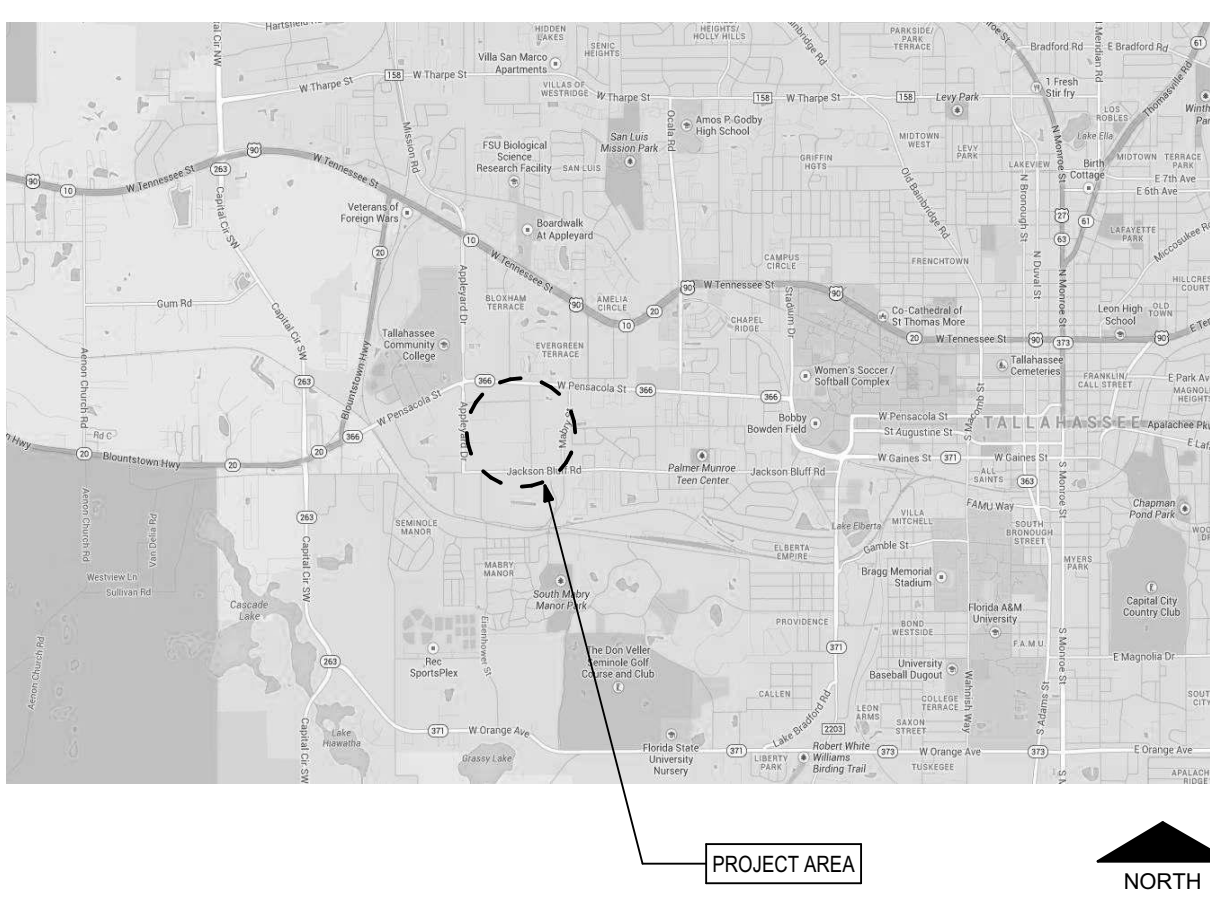
Leon County

100% Construction Documents

September 23, 2013
AL+W Project #11196.5



Location Map



Area Map

Legend of Architectural Symbols:

- BUILDING SECTION REFERENCE:** 1 A1.1
- WALL SECTION REFERENCE:** 1 A1.1
- DETAIL REFERENCE:** 1 A1.1
- PROJECT NORTH:** [North Arrow]
- FINISH COLOR:** C1
- ELEVATION REFERENCE POINT:** [Symbol]
- CONSTRUCTION NOTES:** [Symbol]
- DEMOLITION NOTES:** [Symbol]
- REVISION:** [Symbol]
- INTERIOR ELEVATION:** 1 A1.1
- ELEVATION REFERENCE:** 1 A1.1
- NUMBER INDICATES SECTION, ELEVATION OR DETAIL:** [Symbol]
- SHEET NUMBER WHERE ELEVATION, SECTION OR DETAIL IS DRAWN:** A5.1
- DASH AND DOT:** FIRE RATED WALLS
- DOUBLE DASHED LINE:** PROPERTY LINES, BOUNDARY LINES
- DASHED LINES:** HIDDEN, FUTURE, OR EXIST. CONST. TO BE REMOVED
- BREAK LINE:** TO BREAK OFF PARTS OF DRAWING
- SINGLE DASH LINE:** COLUMN LINES

Architectural General Notes:

- 1) THESE DRAWINGS AND RENDERINGS ARE INSTRUMENTS OF SERVICE. THE DRAWINGS AND COPIES THEREOF, INCLUDING ELECTRONIC MEDIA AND CAD FILES, ARE THE PROPERTY OF ARCHITECTS: LEWIS + WHITLOCK, P.A. THEIR USE, REPRESENTATION OR REPRODUCTION IN ANY FORM OR BY ANY ENTITY THAT POSSESSES THEM FOR ANY PURPOSE EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT IS PROHIBITED. THE COPYRIGHT NOTIFICATION SHALL BE TRUE AS IF DIRECTLY PLACED ON EACH DRAWING, DETAIL, EXHIBIT OR RENDERING ON THIS DOCUMENT AND SHALL NOT BE REMOVED FROM THESE DOCUMENTS.
- 2) ALL DIMENSIONS ARE TO THE FACE OF STUD OR STUD TRACK, CENTER LINE OF STUD OR STUD TRACK, FACE OF MASONRY AND TO THE CENTER LINE OF STRUCTURAL STEEL COLUMNS, UNLESS OTHERWISE INDICATED.
- 3) WHERE STRUCTURAL DESIGN LOADS ARE NOT PROVIDED FOR ANY COMPONENTS REQUIRING MANUFACTURER OR FABRICATOR ENGINEERING, AND MINIMUM LOADING CONDITIONS ARE NOT PROVIDED IN APPLICABLE CODES AND STANDARDS, CONSULT ARCHITECT PRIOR TO PROCEEDING.
- 4) DIMENSIONS FOR PATHS OF EGREGES INCLUDING CORRIDORS AND STAIRS SHALL MEAN CLEAR WIDTH BETWEEN CORRIDOR WALLS, AND AT STAIRS CLEAR WIDTH BETWEEN WALLS OR CURBS.
- 5) DO NOT SCALE DRAWINGS, IF THERE IS A CONFLICT IN DIMENSIONS OR IF THERE IS INSUFFICIENT DIMENSIONING, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING.
- 6) IF AN ORDER OF PRECEDENT FOR THE INTERPRETATION OF DOCUMENTS IS NOT PROVIDED IN THE PROJECT MANUAL (IF PROVIDED), AND A CONFLICT OCCURS IN THE SPECIFICATIONS, ON THE DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, CONTACT THE ARCHITECT. ALL REQUEST FOR CLARIFICATION TO THE ARCHITECT SHALL BE MADE IN WRITING. THE ARCHITECT'S RESPONSE SHALL BE MADE IN WRITING AND NO FORMAL INSTRUCTIONS SHALL BE GIVEN VERBALLY.
- 7) WHERE CLEAR DIMENSIONS ARE INDICATED, THIS SHALL MEAN CLEAR WIDTH FROM FINISHED WALL TO FINISHED WALL OR CLEAR FLOOR AREA BETWEEN BUILDING COMPONENTS.
- 8) ALL FIRE RATED PARTITION OR WALL ASSEMBLIES SHALL EXTEND FROM THE FLOOR SLAB TO THE UNDERSIDE OF THE BUILDING STRUCTURE AND/OR DECK ABOVE. ALL PENETRATIONS IN RATED CONSTRUCTION SHALL BE PROPERLY SEALED TO INSURE THE RATING IS MAINTAINED.
- 9) ALL FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLIES SHALL BE CONTINUOUS BETWEEN PARTITIONS AND/OR WALLS FOR THE SPACE OR HORIZONTAL AREA INDICATED. ALL PENETRATIONS IN RATED CONSTRUCTION SHALL BE PROPERLY SEALED TO INSURE THE RATING IS MAINTAINED.
- 10) TYPICAL AND STANDARD DETAILS MAY BE PROVIDED IN THE DRAWINGS. IF A SPECIFIC DETAIL IS NOT PROVIDED FOR CONDITION OF FABRICATION AND/OR INSTALLATION, CONTACT THE ARCHITECT PRIOR TO PROCEEDING.
- 11) THE INSTALLATION OF MECHANICAL, PLUMBING AND ELECTRICAL ITEMS (INCLUDING UTILITIES, ROUGH-INS, SYSTEM COMPONENTS AND FINISHED FIXTURES) IN EXPOSED TO VIEW AREAS OR SPACES SHALL BE UNDERTAKEN WITH SKILL AND CRAFTSMANSHIP TO PROVIDE A FINISHED CONDITION ACCEPTABLE TO THE ARCHITECT. ALL EXPOSED TO VIEW ITEMS SHALL BE FINISHED WITH PAINT UNLESS OTHERWISE SPECIFIED TO BE PREFINISHED OR NOT TO BE PAINTED.
- 12) THESE GENERAL NOTES HAVE THE SAME AUTHORITY AS OTHER NOTES AND REFERENCES IN THE DRAWINGS OR SPECIFICATIONS AND SHALL NOT BE EXCLUDED IN THE EXECUTION OF THE WORK. THEY MAY REQUIRE COORDINATION BETWEEN VARIOUS TRADE CONTRACTORS. IN ADDITION TO THESE GENERAL NOTES, REFER TO DEMOLITION AND CONSTRUCTION NOTES SPECIFIC TO EACH DRAWING.
- 13) THE CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH, INCLUDING POSTING DANGER SIGNS AND OTHER WARNING AGAINST HAZARDS, AS WELL AS PROMULGATING SAFETY STANDARDS.
- 14) THE CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY THE OWNER FOR ON-SITE STORAGE OF MATERIALS.
- 15) THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISE AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS DAILY. THE WORK PREMISE SHALL BE CLEAN AT COMPLETION OF JOB AND BEFORE FINAL PAYMENT IS MADE.
- 16) THE CONTRACTOR SHALL TAKE CARE NOT DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR RESTORING AREAS DAMAGED BY THE CONTRACTOR (MATERIALS, FINISHES, ETC.) TO THEIR ORIGINAL CONDITIONS. SURFACES SHALL BE REPAINTED TO MATCH EXISTING ADJACENT FINISHES.

Standard Abbreviations:

A/C -AIR CONDITIONING	FD -FLOOR DRAIN	M -METER	SAN -SANITARY
ACI -AMERICAN CONCRETE INSTITUTE	FEB -FIRE EXTINGUISHER W/ BRACKET	MATL -MATERIAL	SC -SOLID CORE
ACT -ACOUSTICAL CEILING TILE	FEC -FIRE EXTINGUISHER IN CABINET	MAX -MAXIMUM	SECT -SECTION
ADJ -ADJACENT	FF -FINISH FLOOR	MC -MEDICINE CABINET	SEW -SEWER
AFF -ABOVE FINISH FLOOR	FHC -FIRE HOSE CABINET	MECH -MECHANICAL	SF -SQUARE FEET
ALT -ALTERNATE	FIN -FINISH	MTL -METAL	SGL -SINGLE
ALUM -ALUMINUM	FL -FLOOR	MEZZ -MEZZANINE	SIM -SIMILAR
ASTM -AMERICAN SOCIETY OF TSTG. & MTL.	FLG -FLASHING	MFR -MANUFACTURER	SJ -SAWED JOINT
	FT -FOOT OR FEET	MIN -MINIMUM	SPKLR -SPRINKLER
	FTG -FOOTING	MISC -MISCELLANEOUS	SQ -SQUARE
BD -BOARD		MK -MARK	SST -STAINLESS STEEL
BLDG -BUILDING	GA -GAUGE	MO -MASONRY OPENING	STD -STANDARD
BLT -BOLT	GALV -GALVANIZED	MTD -MOUNTED	STL -STEEL
BM -BEAM	GEN -GENERAL	MULL -MULLION	STOR -STORAGE
BOT -BOTTOM	GND -GROUND		STRUCT -STRUCTURAL
BRG -BEARING	GWB -GYPSUM WALLBOARD		SUSP -SUSPENDED
	GYP -GYPSUM	N -NORTH	
C/C -CENTER TO CENTER		NA -NOT APPLICABLE	
CEM -CEMENT		NIC -NOT IN CONTRACT	
CF -CUBIC FEET		NOM -NOMINAL	
CFM -CUBIC FEET PER MINUTE	HC -HANDICAPPED ACCESSIBLE	NS -NON SHRINK	
CG -CORNER GUARD	HDR -HEADER	NTS -NOT TO SCALE	
CIR -CIRCLE, CIRCULAR	HDRL -HANDRAIL		
CIP -CAST-IN-PLACE	HM -HOLLOW METAL		
CJ -CONTROL JOINT	HORZ -HORIZONTAL	OA -OVERALL	
CLG -CEILING	HGT -HEIGHT	OC -ON CENTER	
CLO -CLOSET		OD -OUTSIDE DIAMETER	
CLR -CLEARANCE, CLEAR		OH -OVERHEAD	
CMU -CONCRETE MASONRY UNIT	ID -INSIDE DIAMETER (DIM.)	OPP -OPPOSITE	
COL -COLUMN	IN -INCHES	OPPH -OPPOSITE HAND	
COMP -COMPRESSOR, COMPOSITE	INSUL -INSULATION		
CONC -CONCRETE	INT -INTERIOR	PCF -POUNDS PER CUBIC FOOT	
CONSTR -CONSTRUCTION		PKG -PARKING	
CONT -CONTINUOUS	JAN -JANITOR	PL -PLATE	
CORR -CORRUGATED	JB -JAMB	PLAM -PLASTIC LAMINATE	
CS -COUNTERSINK	JT -JOINT	PLYWD -PLYWOOD	
CTR -CENTER		PNL -PANEL	
	K -KIPS (KILO POUND OR 1000LBS.)	PREFAB -PREFABRICATED	
	KD -KILN DRIED	PREP -PREPARATION	
DBL -DOUBLE		PSF -POUNDS PER SQUARE FOOT	
DEFS -DIRECT APPLIED EXT FINISH SYSTEM	L -STEEL ANGLE, LENGTH	PSI -POUNDS PER SQUARE INCH	
DEG -DEGREES	LAM -LAMINATED	PT -PRESSURE TREATED PAINT, POINT	
DTL -DETAIL	LAV -LAVATORY	PVC -POLYVINYL CHLORIDE	
DF -DRINKING FOUNTAIN	LBS -POUNDS	PVMT -PAVEMENT	
DIA -DIAMETER	LH -LEFT HAND		
DIM -DIMENSION	LL -LIVE LOAD	QC -QUALITY CONTROL	
DN -DOWN	LLH -LONG LEG HORIZONTAL	QT -QUARRY TILE	
DS -DOWNSPOUT	LLV -LONG LEG VERTICAL		
DTL -DETAIL	LJNTEL -JINTEL	REF -REFERENCE	
DWG -DRAWING	LWT -LIGHTWEIGHT	REIN -REINFORCED, REINFORCEMENT	
	LVR -LOUVER	REQD -REQUIRED	
EA -EACH		REVISION -REVISION	
EJ -EXPANSION JOINT		RH -RIGHT HAND	
ELEC -ELECTRICAL		RM -ROOM	
ELEV -ELEVATOR, ELEVATION		RO -ROUGH OPENING	
ENCL -ENCLOSURE			
EQ -EQUAL			
EQUIP -EQUIPMENT			
EWC -ELECTRICAL WATERCOOLER			
EXH -EXHAUST			
EX -EXISTING			
EXT -EXTERIOR			

Applicable Codes:

Florida Building Code, Building (FBC-B)	2010 Edition
Florida Building Code, Existing Building (FBC-EB)	2010 Edition
Florida Building Code, Mechanical	2010 Edition
Florida Building Code, Fuel Gas	2010 Edition
Florida Building Code, Plumbing	2010 Edition
Florida Building Code, Accessibility	2010 Edition
Florida Fire Prevention Code (FFPC)	2010 Edition
National Electrical Code (NEC)	2008 Edition

NOTE: CONTRACTOR SHALL PROVIDE ANY INFORMATION AND/OR PRODUCT APPROVAL NUMBERS AS REQUIRED BY FLORIDA STATUTE 553.842 AND FLORIDA ADMINISTRATIVE CODE 9B-72

Index of Drawings:

CS	Cover Sheet
A1.1	Exterior Elevations
A1.2	Exterior Elevations
A2.1	Storefront Elevations and Details

Legend of Architectural Symbols:

Architectural General Notes:

Standard Abbreviations:

Index of Drawings:

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DESIGN DEVELOPMENT				3.			
50% CONSTRUCTION DOCUMENTS	SM	RL	9/12/2013	4.			
BID DOCUMENTS				5.			
100% CONSTR. DOCUMENTS	SM	RL	9/23/2013	6.			

Consultant:

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Lewis + Whitlock
206 west virginia st | tallahassee, fl 32301
ph: 850.942.1718 | fax: 850.942.2110
www.think3d.net
FL AA0003316

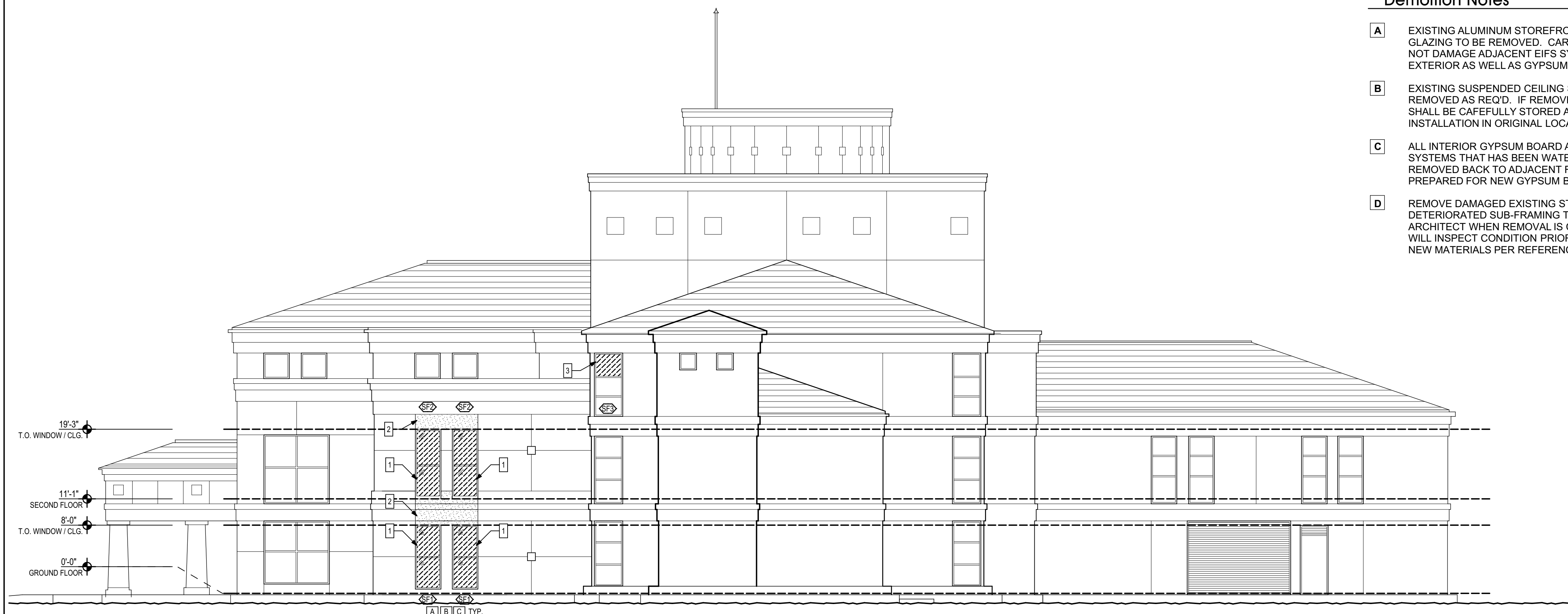
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Cover Sheet

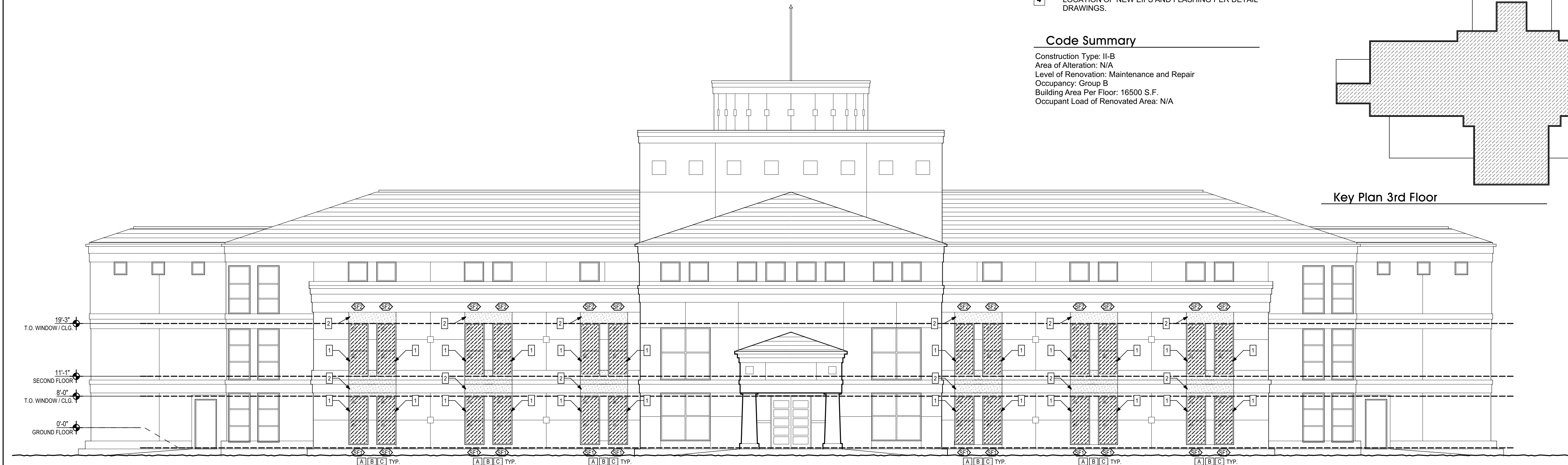
architecture interior design planning

Sheet No:

CS



1 West Elevation
1/8" = 1'-0"



2 North Elevation
1/8" = 1'-0"

Demolition Notes

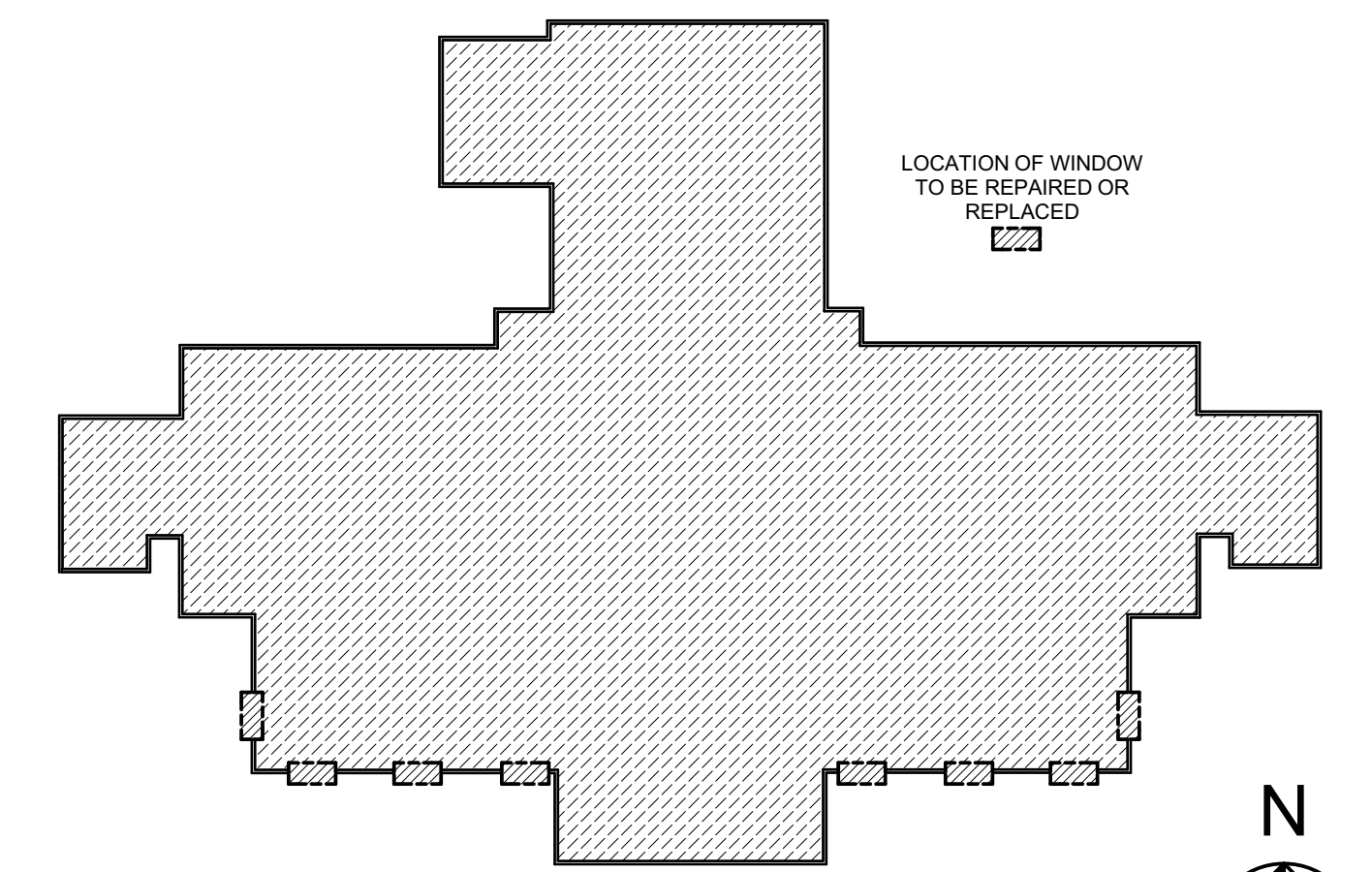
- A** EXISTING ALUMINUM STOREFRONT SYSTEM AND GLAZING TO BE REMOVED. CARE SHALL BE TAKEN TO NOT DAMAGE ADJACENT EIFS SYSTEM ON THE BUILDING EXTERIOR AS WELL AS GYPSUM FINISHES ON INTERIOR.
- B** EXISTING SUSPENDED CEILING SYSTEM TO ONLY BE REMOVED AS REQD. IF REMOVED, CEILING PANELS SHALL BE CAREFULLY STORED AND SALVAGED FOR RE-INSTALLATION IN ORIGINAL LOCATIONS.
- C** ALL INTERIOR GYPSUM BOARD ADJACENT TO WINDOW SYSTEMS THAT HAS BEEN WATER DAMAGED SHALL BE REMOVED BACK TO ADJACENT FRAMING MEMBER AND PREPARED FOR NEW GYPSUM BOARD INSTALLATION.
- D** REMOVE DAMAGED EXISTING STUCCO FINISH AND DETERIORATED SUB-FRAMING THIS LOCATION. NOTIFY ARCHITECT WHEN REMOVAL IS COMPLETE. ARCHITECT WILL INSPECT CONDITION PRIOR TO INSTALLATION OF NEW MATERIALS PER REFERENCED DETAILS.

Construction Notes

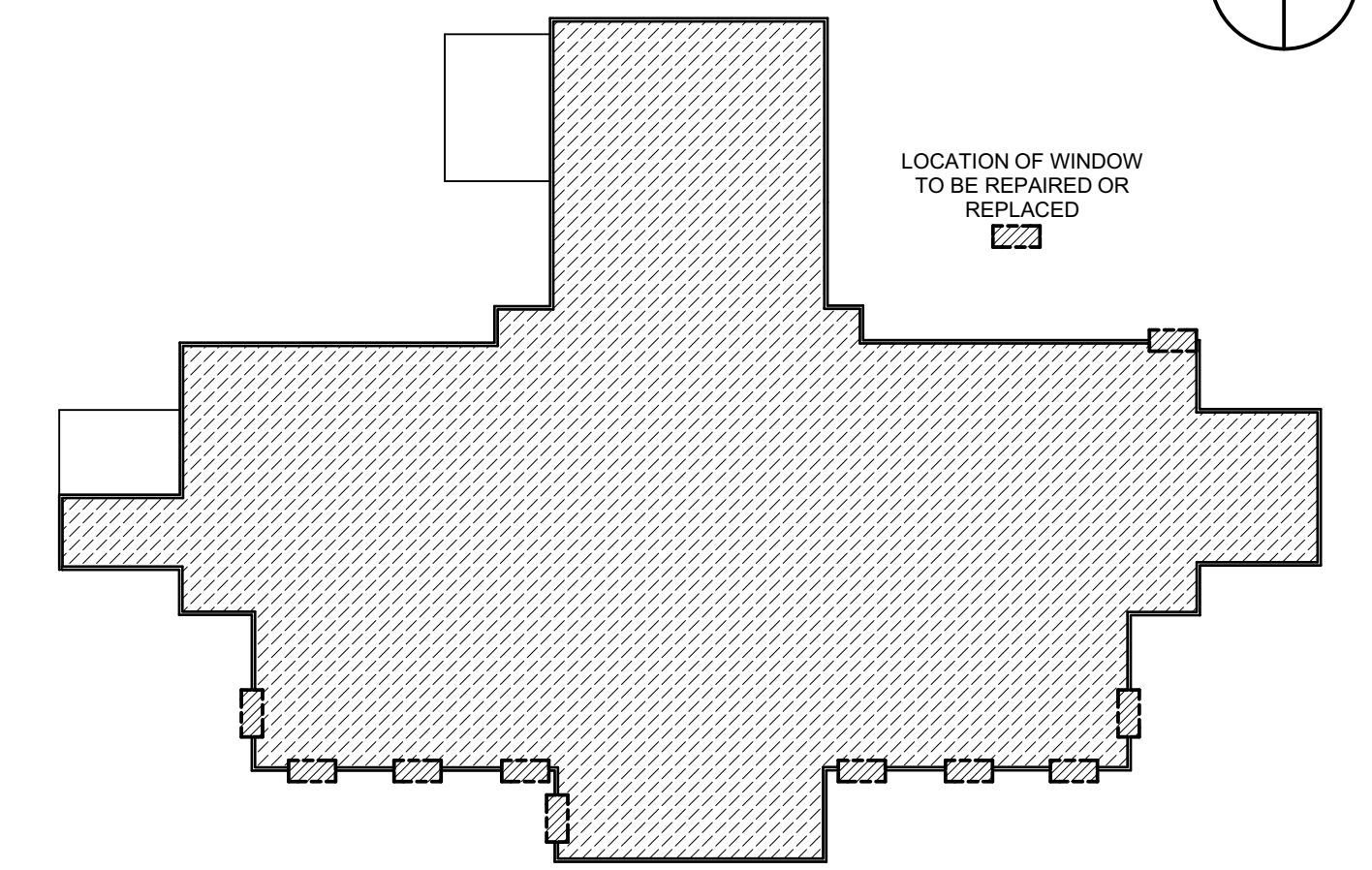
- 1** NEW STOREFRONT WINDOW SYSTEM, GLAZING AND FLASHING.
- 2** PROVIDE EIFS WALL FINISH AT LOCATION OF REMOVED WINDOWS.
- 3** REPLACE DAMAGED WINDOW GLAZING WITHIN EXISTING FRAME.
- 4** LOCATION OF NEW EIFS AND FLASHING PER DETAIL DRAWINGS.

Code Summary

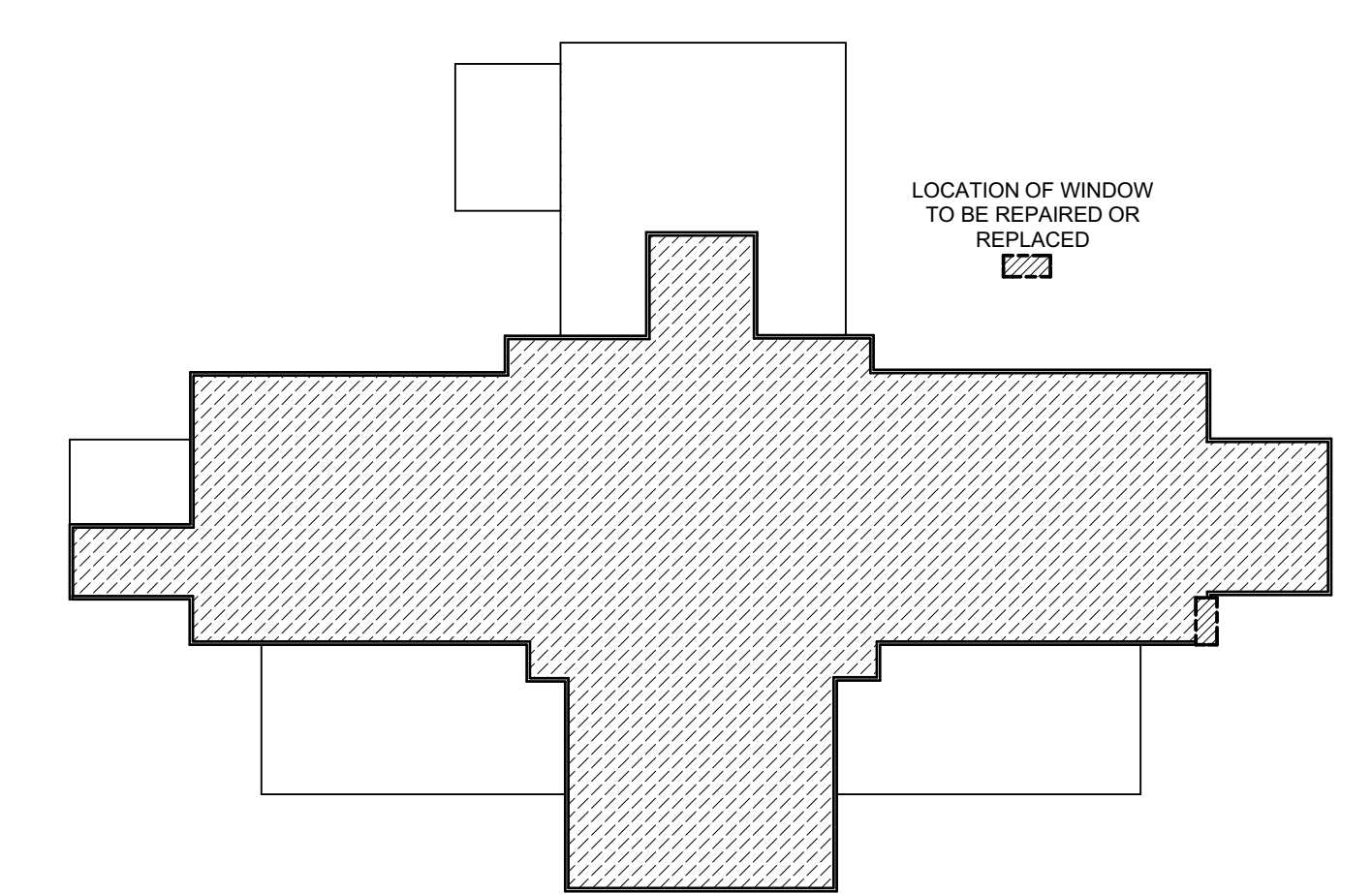
Construction Type: II-B
 Area of Alteration: N/A
 Level of Renovation: Maintenance and Repair
 Occupancy: Group B
 Building Area Per Floor: 16500 S.F.
 Occupant Load of Renovated Area: N/A



Key Plan Ground Floor



Key Plan 2nd Floor



Key Plan 3rd Floor

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BID DOCUMENTS				5.			
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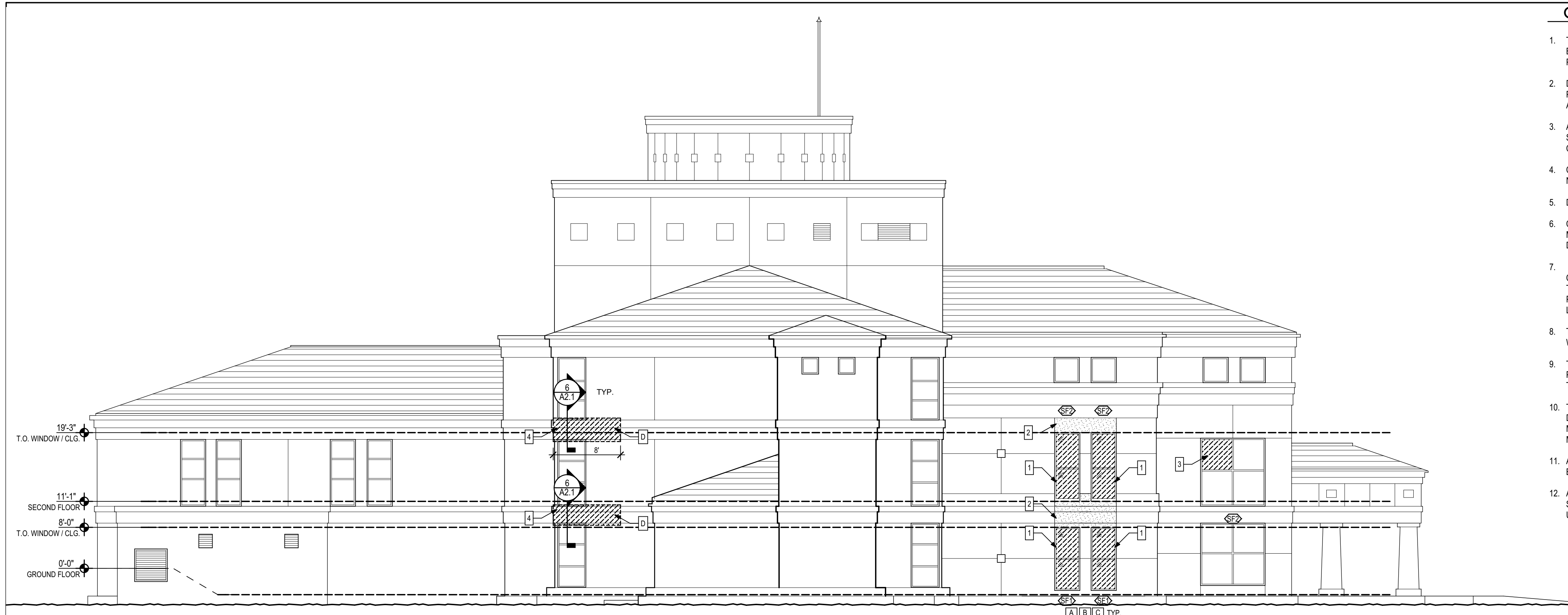
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Lewis + Whitlock

architecture
interior design
planning

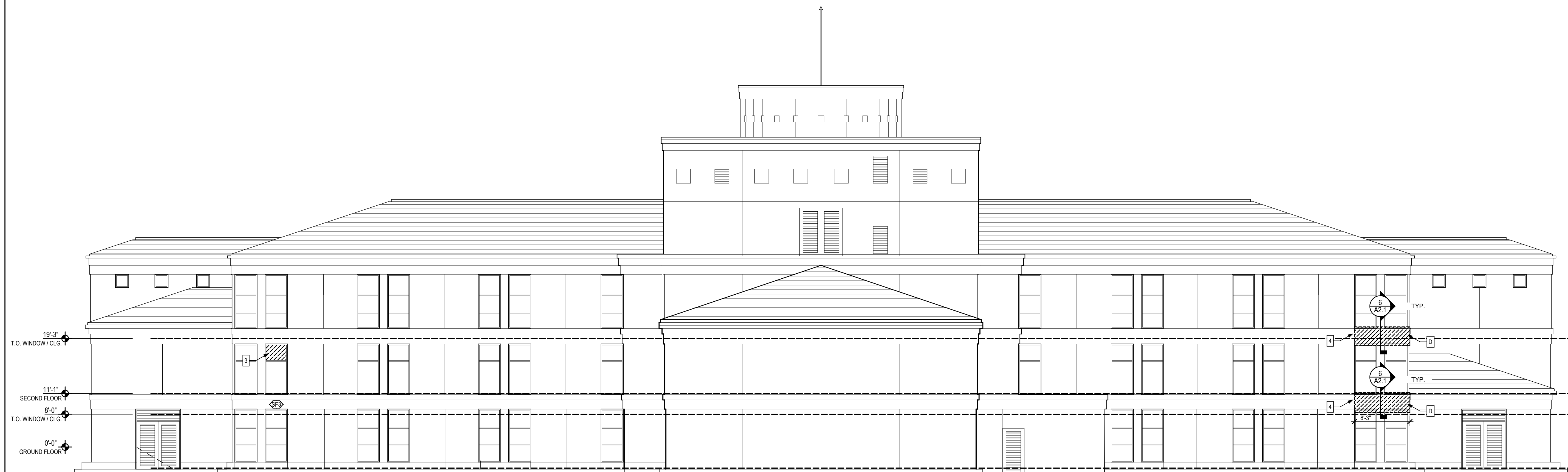
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ph: 850.942.1718 | fax: 850.942.2110
www.think3d.net FLA00003316

Description:
Exterior Elevations

Sheet No:
A1.1



1 East Elevation
1/8" = 1'-0"



2 South Elevation
1/8" = 1'-0"

General Construction Notes

1. THE CONTRACTOR SHALL EXAMINE THE SITE AND EXISTING CONDITIONS AND BECOME FAMILIAR WITH ALL CONDITIONS WHICH MAY AFFECT THE WORK, PRIOR TO STARTING.
2. DIMENSIONS INDICATED FOR NEW PARTITIONS ARE TO THE CENTER OF PARTITION OR EDGE OF STUD FOR METAL PARTITIONS. MASONRY PARTITIONS ARE TO EDGE OF WALL (OR SLAB EDGE).
3. ALL NEW WALL SURFACES SHALL BE FINISHED AND PAINTED PER SPECIFICATIONS. WHERE REPAIRS TO WALL FINISH OCCUR, NEW PAINT WILL BE CONTINUOUS TO NEAREST WALL EDGE TERMINATION.
4. CLEAN AND PREP ALL AREAS WITHIN SCOPE OF WORK TO RECEIVE NEW FINISHES.
5. DIMENSIONS INDICATED FOR EX. CONSTRUCTION ARE ACCURATE TO +/- 1".
6. CONTRACTOR SHALL PATCH AND REPAIR ALL WALLS THAT ARE IMPACTED BY MECHANICAL AND/OR ELECTRICAL CONDUIT, PIPING, AND ALL OTHER MISC DEVICES
7. ALL WORK IS TO BE LAID OUT TRUE, SQUARE, AND PLUMB, AND TO EXACT AND CORRECT DIMENSIONS. IF DIMENSIONAL DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER AND THE ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES AND WORK, INCLUDING WORK OF OTHERS WHERE AFFECTED.
9. THE CONTRACTOR SHALL PROVIDE BARRICADES, DUST CONTROL, TEMPORARY POWER, LIGHTING, TELEPHONE SERVICE, ETC. AS REQUIRED TO COMPLETE THE WORK.
10. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOB SITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNER'S RECORD COPY.
11. ALL EXISTING FIRE EXTINGUISHERS TO BE REUSED IN CONSTRUCTION SHALL BE RE-CERTIFIED BEFORE REINSTALLATION.
12. ALL NEW GYPSUM BOARD SHALL BE PRIMED AND PAINTED PER SPECIFICATIONS AND FINISH COLOR SHALL MATCH EXISTING ADJACENT COLOR UNLESS OTHERWISE NOTED.

Demolition Notes

- A** EXISTING ALUMINUM STOREFRONT SYSTEM AND GLAZING TO BE REMOVED. CARE SHALL BE TAKEN TO NOT DAMAGE ADJACENT EIFS SYSTEM ON THE BUILDING EXTERIOR AS WELL AS GYPSUM FINISHES ON INTERIOR.
- B** EXISTING SUSPENDED CEILING SYSTEM TO ONLY BE REMOVED AS REQD. IF REMOVED, CEILING PANELS SHALL BE CAREFULLY STORED AND SALVAGED FOR RE-INSTALLATION IN ORIGINAL LOCATIONS.
- C** ALL INTERIOR GYPSUM BOARD ADJACENT TO WINDOW SYSTEMS THAT HAS BEEN WATER DAMAGED SHALL BE REMOVED BACK TO ADJACENT FRAMING MEMBER AND PREPARED FOR NEW GYPSUM BOARD INSTALLATION.
- D** REMOVE DAMAGED EXISTING STUCCO FINISH AND DETERIORATED SUB-FRAMING THIS LOCATION. NOTIFY ARCHITECT WHEN REMOVAL IS COMPLETE. ARCHITECT WILL INSPECT CONDITION PRIOR TO INSTALLATION OF NEW MATERIALS PER REFERENCED DETAILS.

Construction Notes

- 1** NEW STOREFRONT WINDOW SYSTEM, GLAZING AND FLASHING.
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- 4** LOCATION OF NEW EIFS AND FLASHING PER DETAIL DRAWINGS.

STRUCTURAL DESIGN LOADS

1. DESIGN LOADS:
 - A. WIND LOAD
 - (1) ULTIMATE DESIGN WIND SPEED = 130 MPH
 - (2) RISK CATEGORY: III
 - (3) WIND EXPOSURE CATEGORY = B
 - (4) ENCLOSURE CLASSIFICATION = ENCLOSED
 - (5) INTERNAL PRESSURE, GCpi = ±0.18
 - (6) CLADDING LOADS ON WALLS:
 - INTERIOR = +16.0/-17.4 PSF
 - EDGE = +16.0/-20.8 PSF

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100% CONSTR. DOCUMENTS	SM	RL	9/23/2013	6.			

Consultant:

Seal:

Architects
Lewis + Whitlock

architecture
interior design
planning

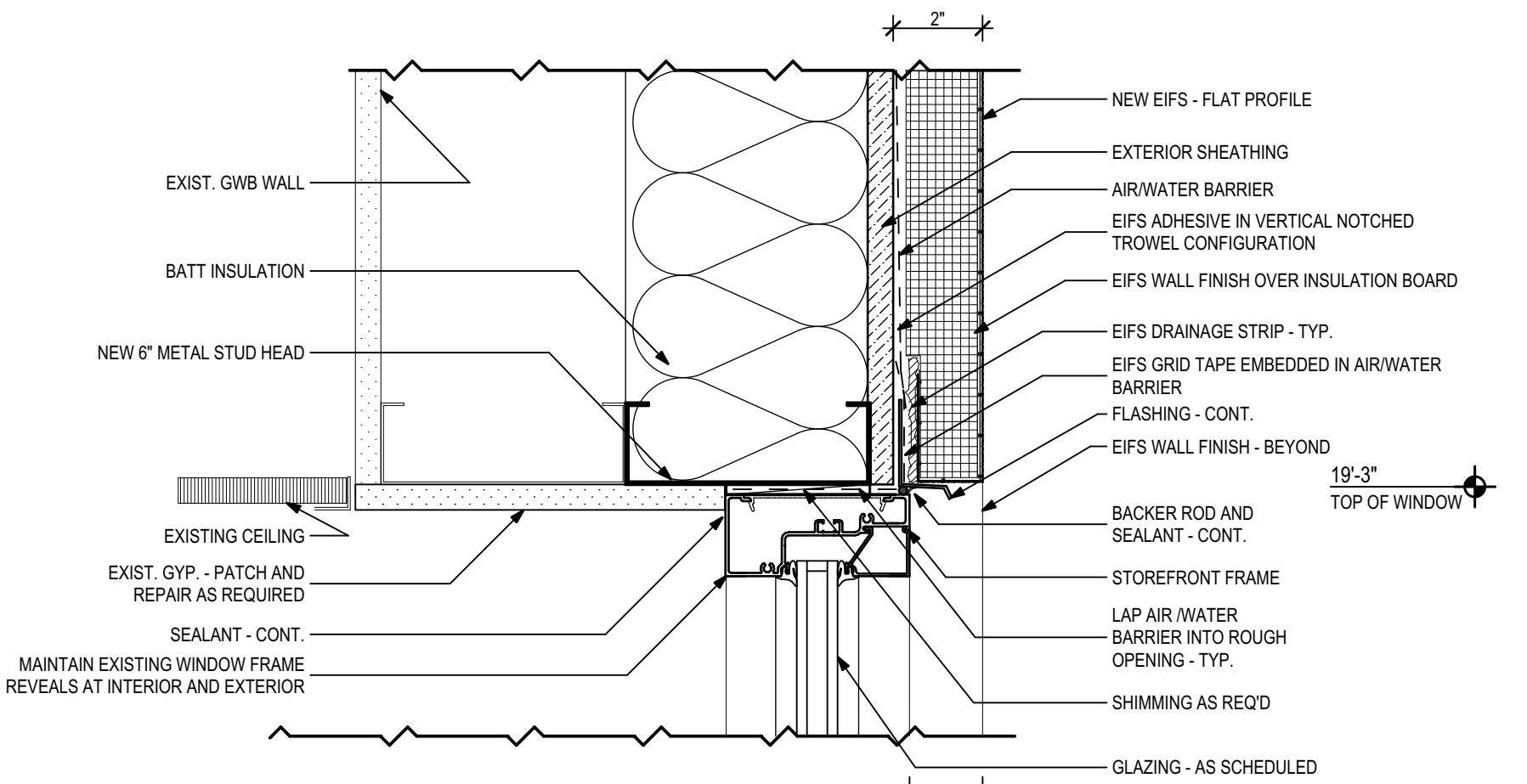
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ph: 850.942.1710 | fax: 850.942.2110
www.think3d.net FLAA0003316

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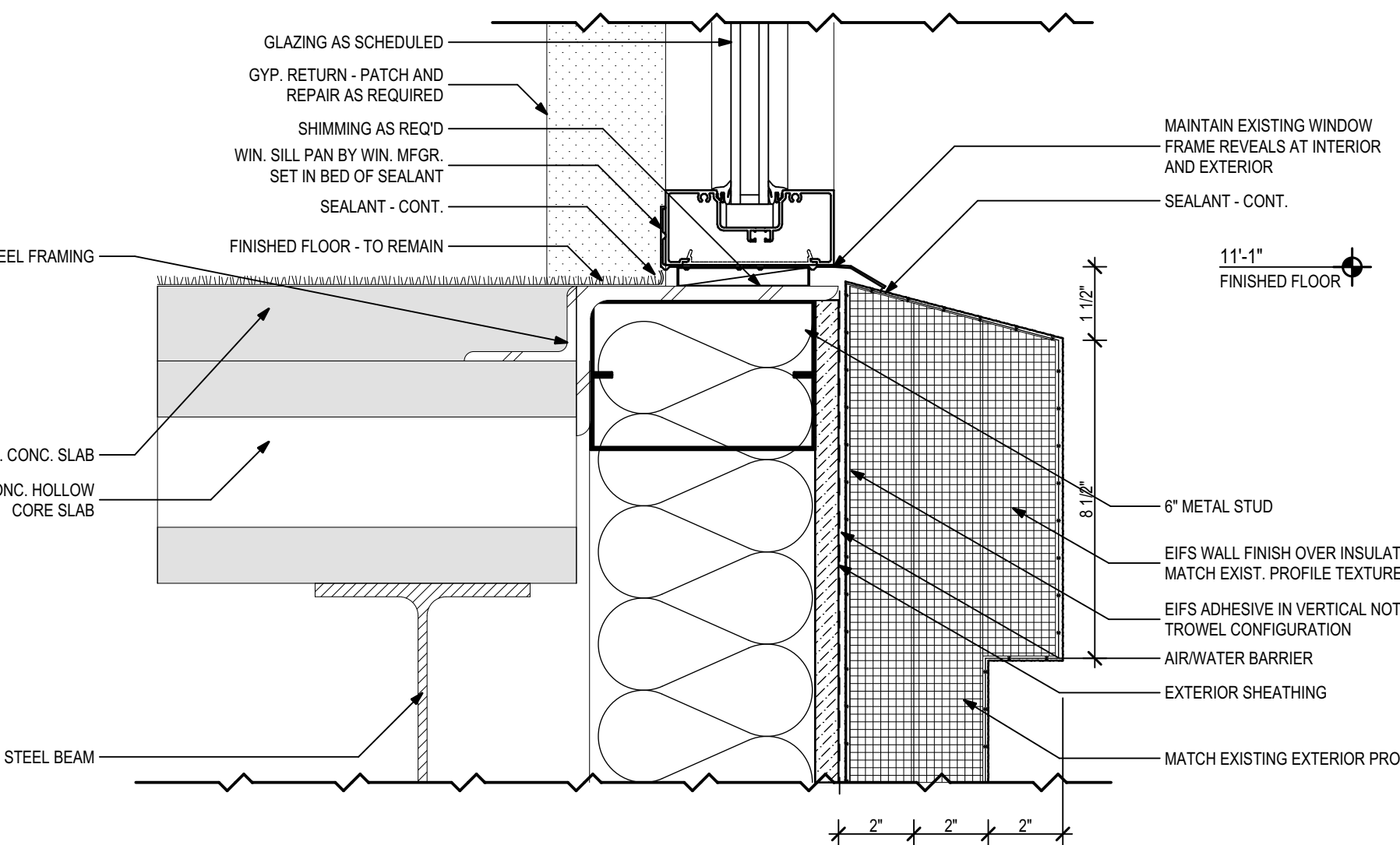
Exterior Elevations

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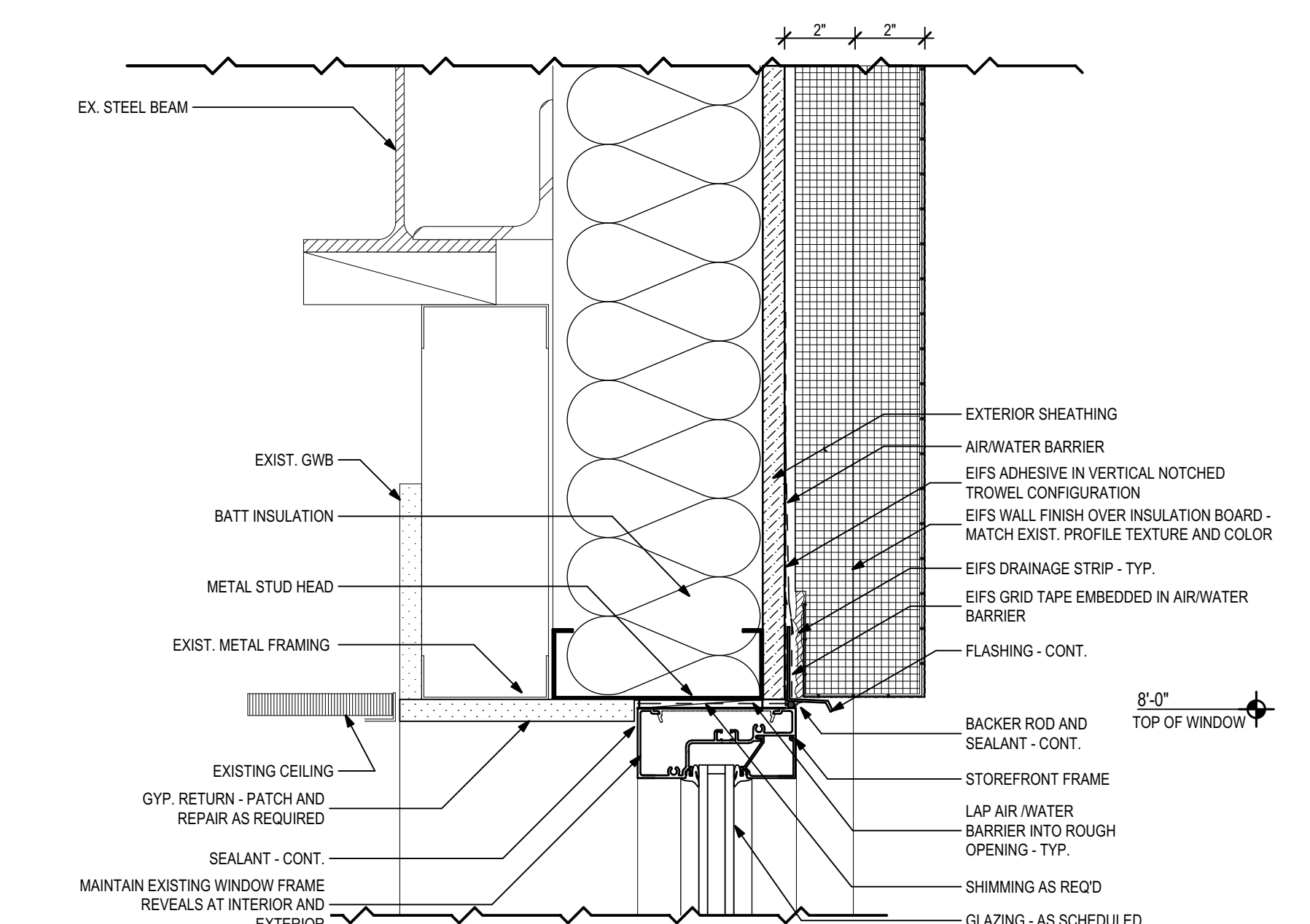
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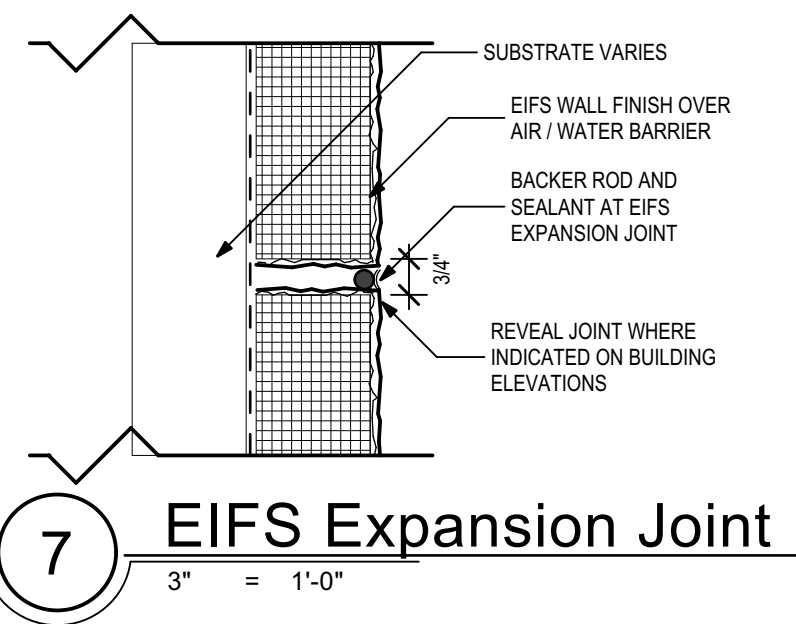
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3" = 1'-0"



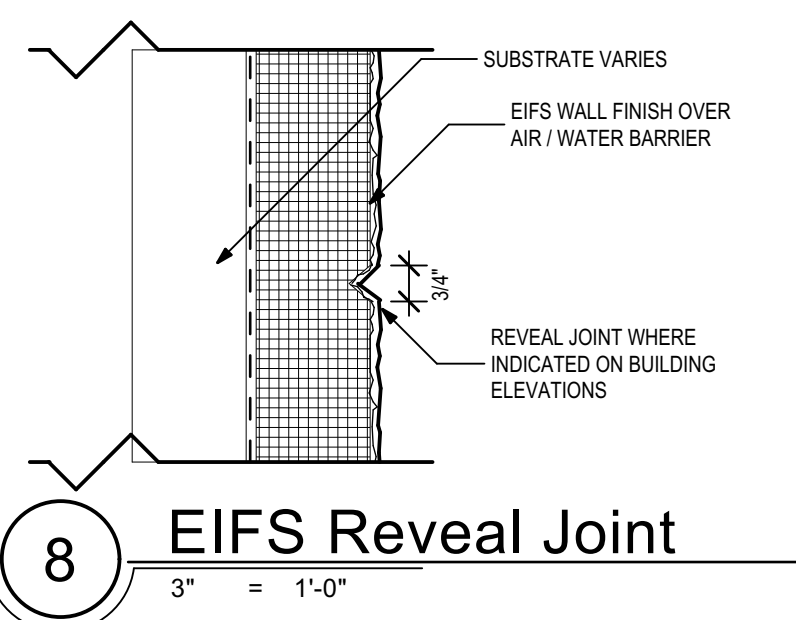
2 SF Second Floor Sill Detail
3" = 1'-0"



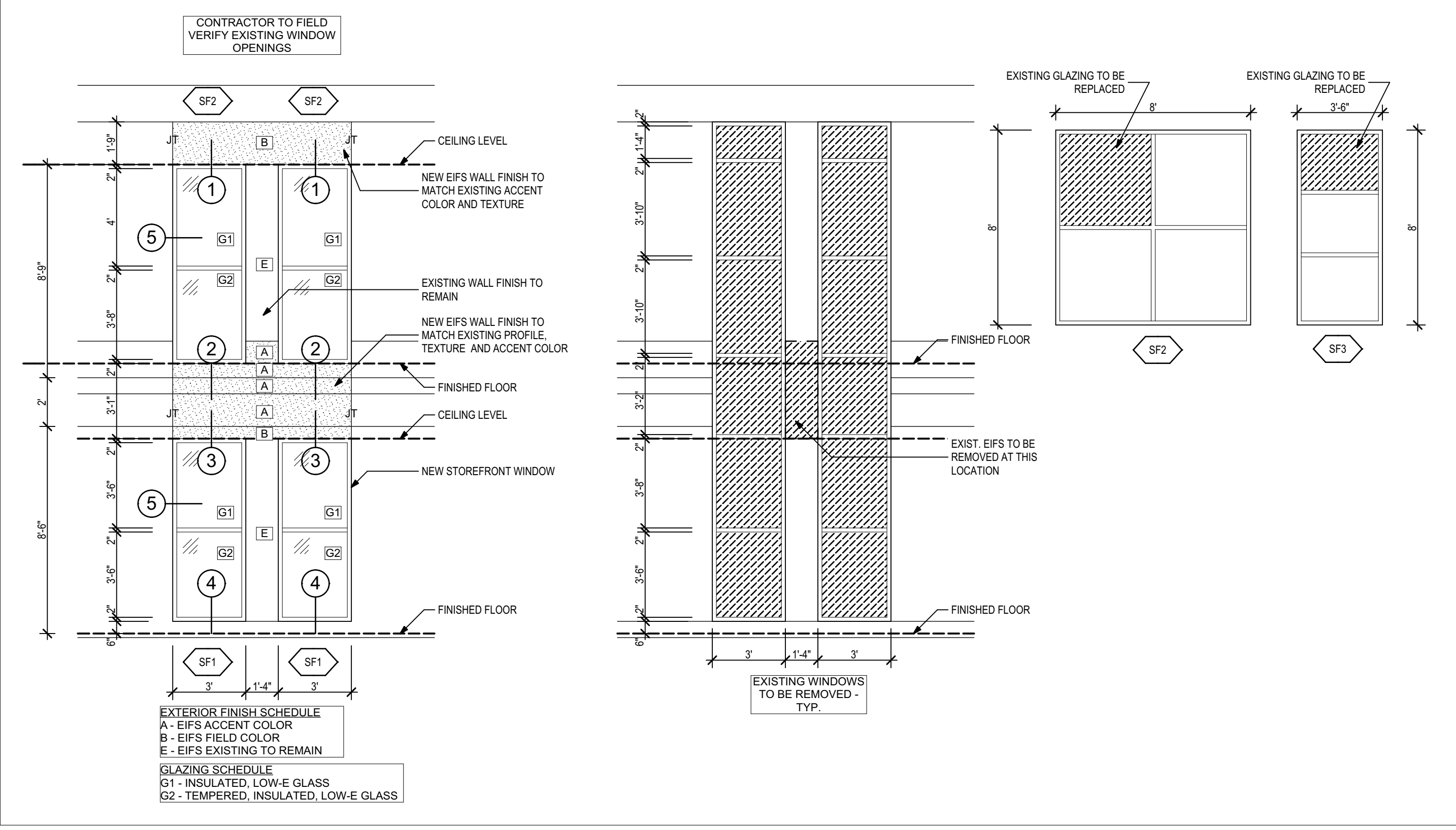
3 SF Ground Floor Head Detail
3" = 1'-0"



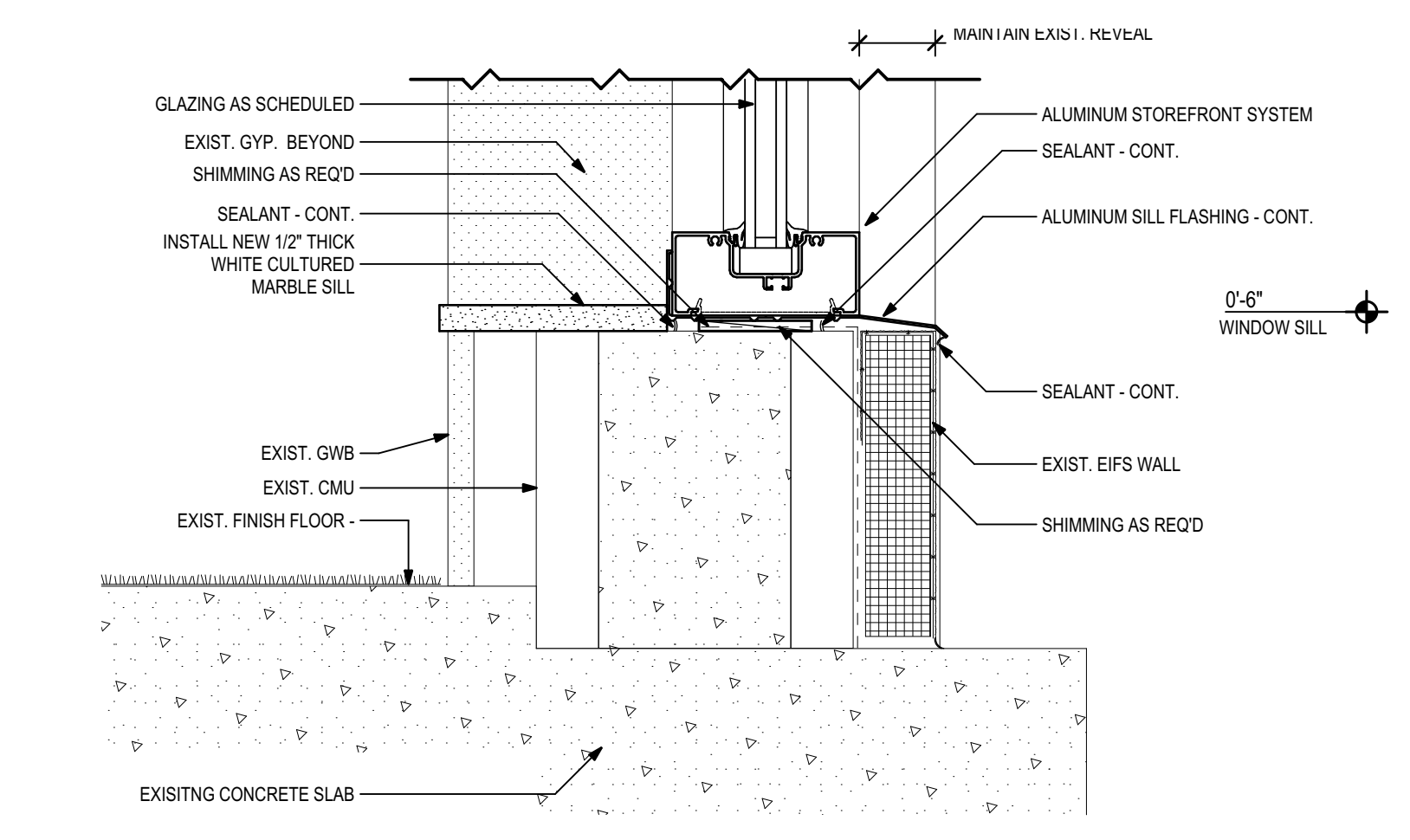
7 EIFS Expansion Joint
3" = 1'-0"



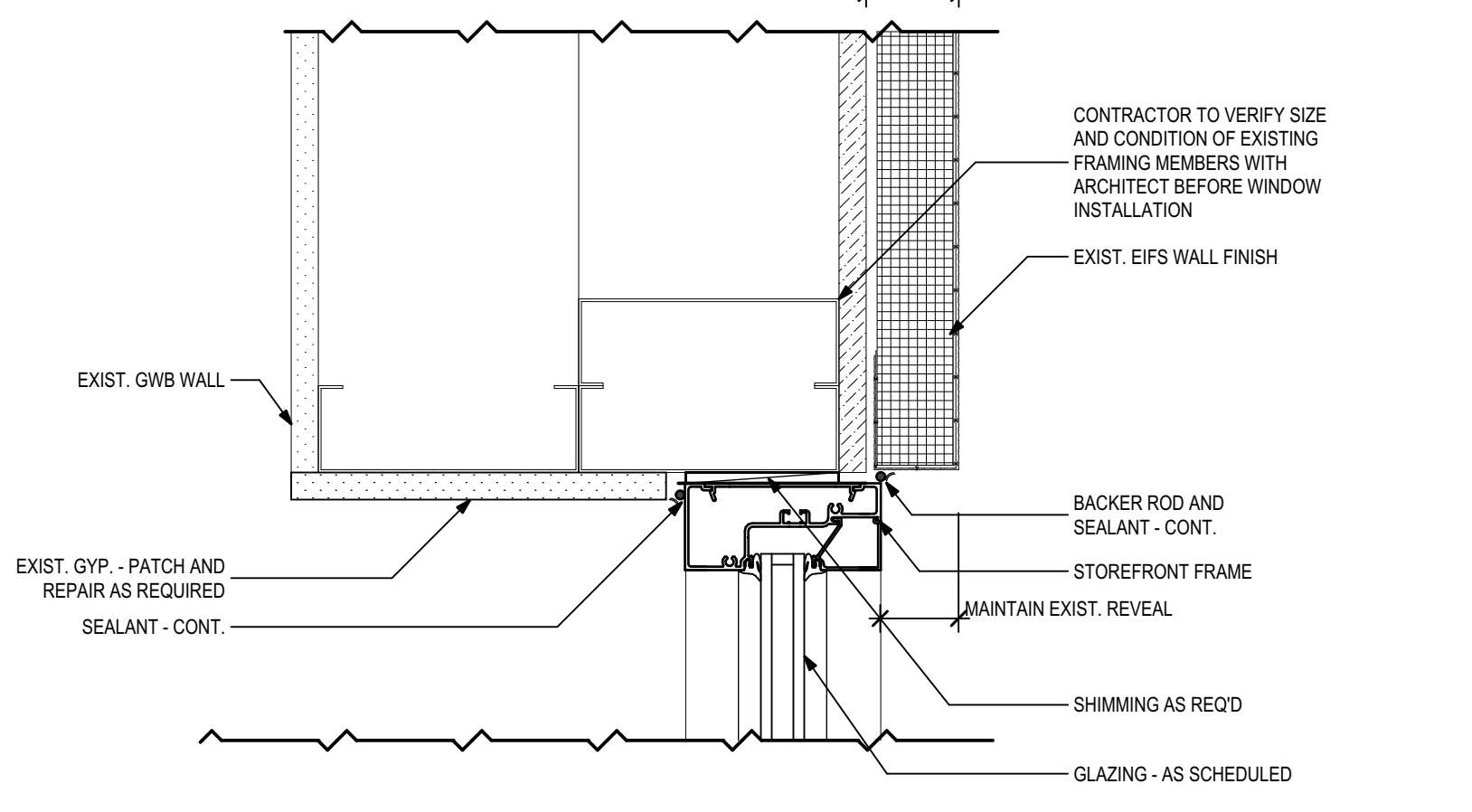
8 EIFS Reveal Joint
3" = 1'-0"



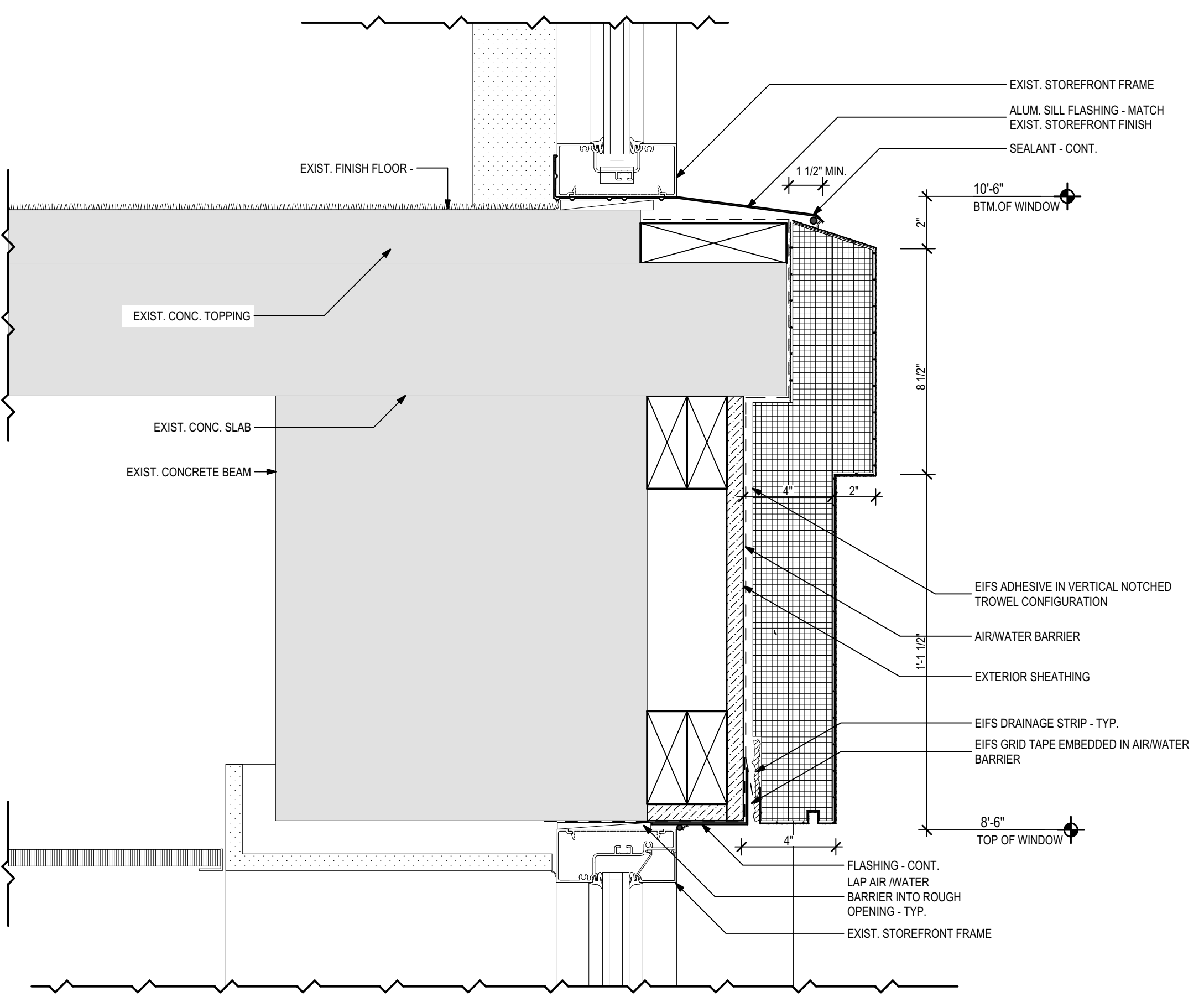
Window Elevations
1/4" = 1'-0"



4 SF Ground Floor Sill Detail
3" = 1'-0"



5 SF Jamb Detail
3" = 1'-0"



6 Wall Section Detail
3" = 1'-0"

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PHASE:	DRAWN:	REVIEWED:	DATE:	REVISIONS:	DRAWN:	REVIEWED:	DATE:
CONCEPT SCHEMATIC DESIGN				1.			
ADVANCED SCHEMATIC DESIGN				2.			
DESIGN DEVELOPMENT				3.			
50% CONSTRUCTION DOCUMENTS	SM	RL	9/12/2013	4.			
BID DOCUMENTS				5.			
100% CONSTR. DOCUMENTS	SM	RL	9/23/2013	6.			

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Description: Storefront Elevations and Details

Sheet No: A2.1